



8 Campbell Road, Bedford MK40 3DD

**Lane &
HOLMES**
Est. 1985

8 Campbell Road
Bedford
MK40 3DD

Guide £575,000

Well-presented family home
with character features and
large kitchen...

Edwardian period three storey family
home

Large through living/dining room

Modern kitchen/breakfast room

Five bedrooms

Two bath/shower rooms

Ground floor cloakroom

Gas central heating

Courtyard town garden

- Council Tax Band E
- Energy Efficiency Rating D



Situated within walking distance of Bedford's town centre...



We are delighted to bring to the market this large mature family home situated within walking distance of Bedford's town centre.

The property has been carefully modernised by the current owners whilst incorporating original traditional and character features including fireplaces and oak wooden floors.

The through living/dining room is a considerable reception space which has a multi-fuel burner. The substantial kitchen/breakfast room is located to the rear of the house and has doors out to the rear garden. There is ample space for a breakfast table. The kitchen units are fitted in a contemporary style with a range of white gloss units with quartz work surfaces, there are some integrated appliances and porcelain floor tiles.



Over the first and second floors there are a total of five bedrooms and two bath/shower rooms, one of which is an en suite facility to the second floor bedroom. All sanitaryware is fitted with modern suites and tiling.

The property has gas central heating and there is also a ground floor cloakroom.

Outside there is a small frontage and to the rear the garden is set out for low maintenance and is fully enclosed and part walled. There is also a garden shed.

Campbell Road is conveniently located within walking distance of many amenities which include The River Great Ouse where cafes, restaurants and bars can be found and also schools from both the private and state sector. There are excellent local shopping facilities along Castle Road where bars and restaurants are also in abundance with a variety of independent establishments.

There is easy access to Bedford's town centre and also Bedford's mainline station offering fast and frequent services to the capital and beyond.



Campbell Road, Bedford, MK40

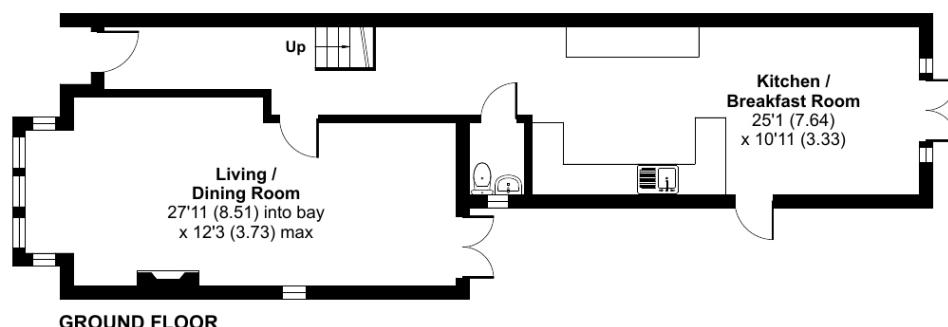
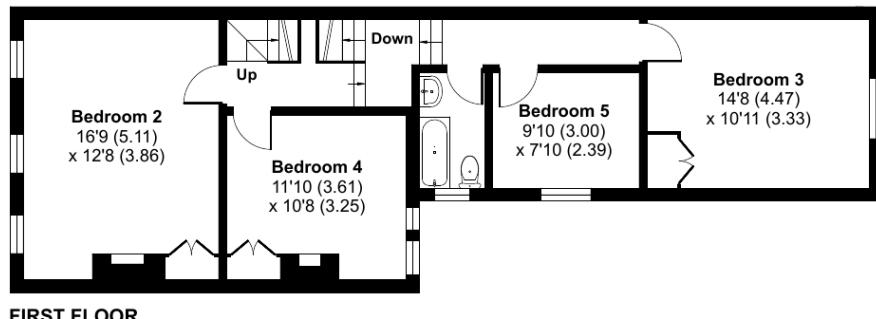
Approximate Area = 1879 sq ft / 174.6 sq m

Limited Use Area(s) = 13 sq ft / 1.2 sq m

Total = 1892 sq ft / 175.8 sq m

For identification only - Not to scale

Denotes restricted
head height



Certified
Property
Measurer

Floor plan produced in accordance with RICS Property Measurement Standards incorporating International Property Measurement Standards (IPMS2 Residential). ©niches.com 2023.
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